

The following items MUST be shown on Plot Plan. Absence of any of these items will delay review of Plot Plan.

(A) Lot Information:

1. Complete block on Page 2
2. Lot#, owner & address
3. Actual / required yard setbacks
4. Actual / required building line setback
5. Adjacent lot#, owners & address
6. Property line / dimension /bearing
7. Dimensions from front property corner to side line of next street
8. Are all property corners shown in place
9. Easements (public & private)
10. Subdivision name & date of approval
11. Volume & page of all variances

(B) Building Information:

1. 1st floor elevation
2. Garage floor elevation
3. Top of foundation wall elevation
4. Proposed building setbacks
5. Building dimensions incl. all projections
6. Basement elevation

(C) Driveway Information:

1. Street gutter elevation
2. Driveway elevation at property line
3. Driveway slope
4. Existing edge of road pavement / curb & pavement width
5. Driveway / opening width
6. Construction material (1st 20 feet)
7. Parking spaces (incl. handicap)
8. Driveway Permit

(D) Drainage Information:

1. Existing and proposed contours
2. Foundation, sub-drainage, roof leader & downspout method of disposal
3. Street drainage system
4. Private Drainage & Release of Claim
5. Drainage Connection Excavation Permit

(E) Utility Information:

1. Electric, phone, cable service to building (h&v)
2. Gas service to building (h&v)
3. Water service to building (h&v)
4. Sewer service to building incl. clean-out to grade (h&v)
5. Septic system location & design
6. Exist. elect, phone, cable, gas, water, sewer service in street
7. Grease trap location

(F) Site Information:

1. Proposed sidewalks
2. Two (2) front yard trees
3. Benchmark Reference
4. A-2 Certification
5. CGS Coordinate
6. Fences / screen
7. Exterior Lighting
8. Underground Storage Tanks

(G) Environmental Information:

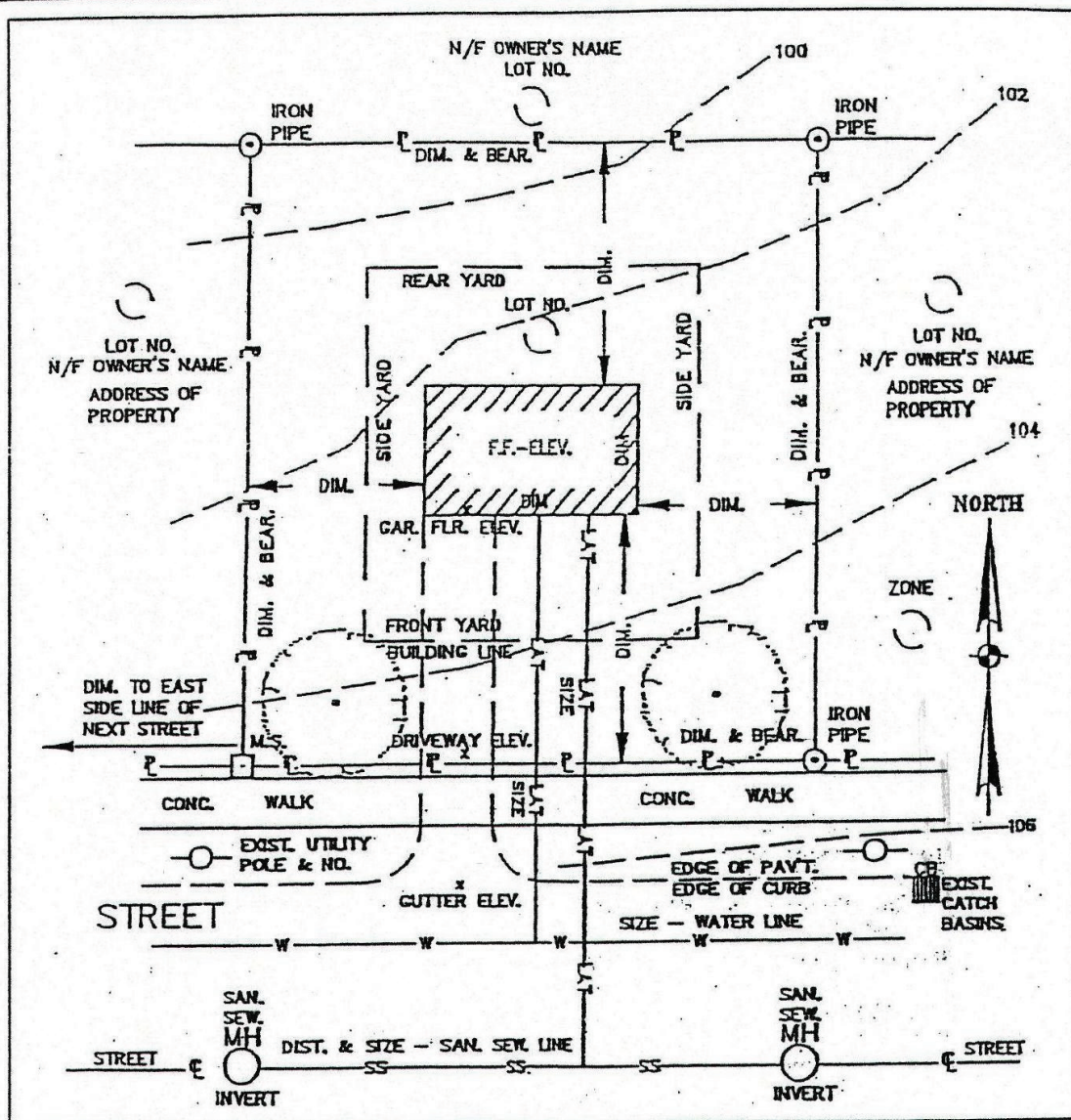
1. 100 yr. Flood limit (FEMA)
2. Wetland Limits & Certification
3. Erosion & Sedimentation Controls
4. Construction Entrance Design & Narrative

(H) Drawing Requirements:

1. Plan Size: 18" x 24" or 24" x 36"
2. Plan Scale: 1"= 20' or 1"= 40'
3. North Arrow
4. Area Location / Zoning Map
5. Seal, Signature and Certification of Surveyor, Architect and / or Engineer.

(I) Bond Requirements:

1. Site Dev. Compliance Bond
2. Erosion Control Bond
3. Addt. Erosion Control Bond
4. Driveway Bond
5. Excavation Bond



NOTES:

1. EXIST. & PROPERTY CONTOURS TO BE SHOWN, SHOW PROPERTY SWALWS BY ARROWS, IF NECESSARY
2. SHOW SUBDRAINAGE AROUND FOUNDATION, ROOF DOWNSPOUTS AND LEADERS, AND METHOD OF DISPOSAL
3. IF USED, SHOW LOCATION OF WELL AND SEPTIC SYSTEM
4. SHOW REQUIRED TREES IN FRONT YARD
5. FRONT PROPERTY CORNERS ARE TO BE IN PLACE, REAR PROPERTY CORNERS ARE TO BE SET PRIOR TO C.O.
6. SOIL EROSION CONTROLS (SILT FENCE, HAY BALES & CONSTRUCTION ENTRANCE), TO BE SHOWN
7. SHOW CHIMNEYS, PORCHES AND DECKS AND DIMENSIONS TO PROPTY LINES.

ZONING INFORMATION (REV. 6/29/00)

	REQUIRED	SUBMITTED
F. YARD		
R. YARD		
S. YARD		
S. AGGRATE		
BUILDING COVERAGE %		

No.	Date	Description

Scale: NTS

Sheet: PP-1

Drawn By: REN

Checked By: JSM

Date: 11-1-91

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TYPICAL PLOT PLAN